



# Wild View

A L I V I N G   S A N C T U A R Y

# Wild View at Little Gaynor Lake Reserve

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sketches shown are for illustrative  
purposes only

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# Wild View at Little Caynor Lake Reserve

As one of the more unique sites left in Boulder County, the Wild View at Little Caynor Lake Reserve offers diverse natural amenities within its boundaries and in its rural setting sighting the Colorado Front Range. Foxes, raccoons, coyotes and other wildlife have reamed the 100 acre property. Waterfowl and migrating birds breed and feed in its waters and on its vegetation. A waterway partially lined with mature aspen, sumac, and willow traverses the site along its ridge. Native grasslands and a designated wetland extend from the west and lie opposite a dormant alpha field, a second wetland and Little Caynor Lake.

At the southeast corner of Boulder County Road #19 (North 95th St.) and Boulder County Road #29 (Oxford Rd.) the property lies within a five minute drive of the Diagonal Parkway, the center of Nimot with easy access to I-25 and Denver. Views from the site stretch across the rolling plains, farmland, and to the Colorado Front Range beyond.

## Introduction

The goal of these guidelines is to allow for the compatible development of residences for a community of environmentally conscious owners who acknowledge the necessity for the natural environment, the wild life, and the views to remain undisturbed.

The planning of the forty-eight lots within the site model sensitive development adjacent to designated wetlands in Boulder County and respect distinct ecosystems and landforms. Adjacent property owners, special interest groups, including the Audubon Society and the Sierra Club, the Developer, and Boulder County Planning Department worked together to ensure that the natural environment and its inhabitants be protected. The large size of the lots (unusual by today's standards) the requirements for the new owners to maintain a large percentage of their landscape as open space, and the Design Guidelines delineating height, density and control of land use, will result in a human habitat existing in harmony with the original inhabitants.

# Architectural Guidelines

## Introduction - Intent

The character of Wild View will be enhanced primarily by the form of the homes within the community. It is imperative that great care be taken with the form and massing of each design. As each property relates to its neighbor as well as to the entire context of Wild View, an emphasis on a park-like setting with the overall theme as integrated forms on landscape. Designs and material choices similar for front elevations should be carried out for the other sides of the building as well. No stage front architecture is allowed. Continuity and cohesiveness in design is paramount to quality architecture. No standard tract homes or anything resembling other homes in Wild View will be allowed. An emphasis on unique homes is greatly encouraged.

The Design Review Committee has an interest at stake in this section of the design guidelines. The basis of a cohesive neighborhood and architectural character rests in this set of standards. The intent of the architectural guidelines is to set minimum standards whereby creativity and quality design can emanate from. Accordingly, the assistance of a design professional is utmost to giving to the community as a whole a project that will match the standards set by these guidelines.

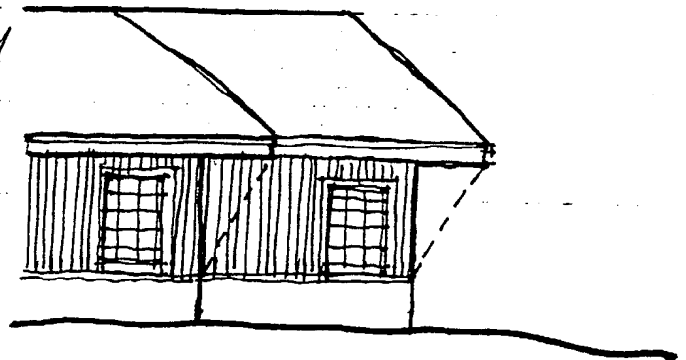
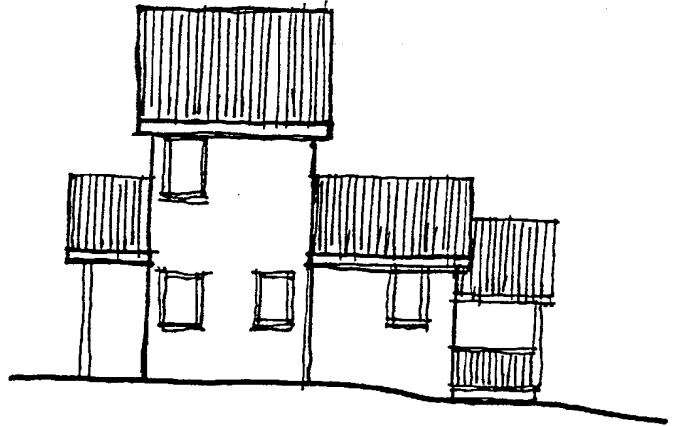
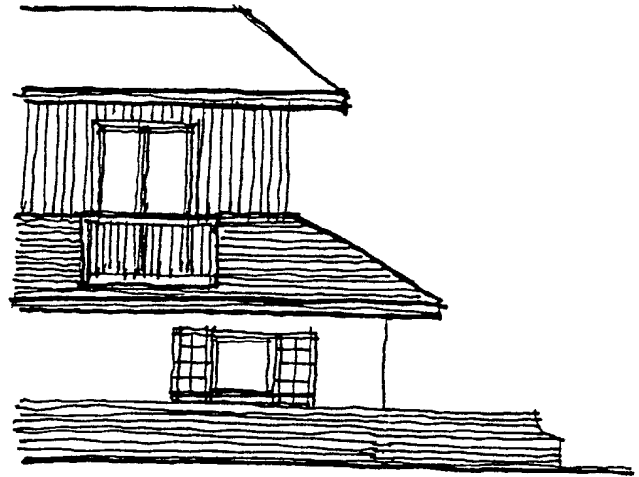
## Section 1

# Architectural Guidelines

# Requirements

## Massing

- a delicate balance between the new building form and the sensitive nature of the site
- diversity in plan
- minimum square footages:
  - 1000 sq. ft. fin. floor ranch / one level
  - 2300 sq. ft. fin. floor multi-level / 2 story
- design emphasis on shape and form, light and glass
- eave lines are important to overall design scheme
  - sun control
  - drainage control
  - massing breakup.
- less large planes
- use of design elements
  - broken up wall planes
  - courtyards
  - wind walls
  - decks
  - privacy walls
  - railings well detailed
- upper levels
  - recessed from front wall
  - lesser scale impact
  - glazing emphasized
  - interplay of roof lines
- glazing
  - important to overall detailing cohesion
- the design must be closely related to the site planning of the project, refer to land use guidelines, section 2

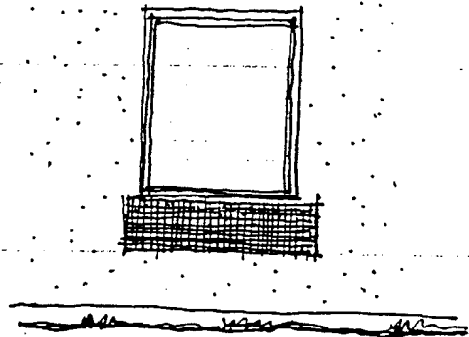
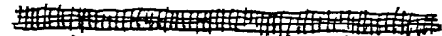
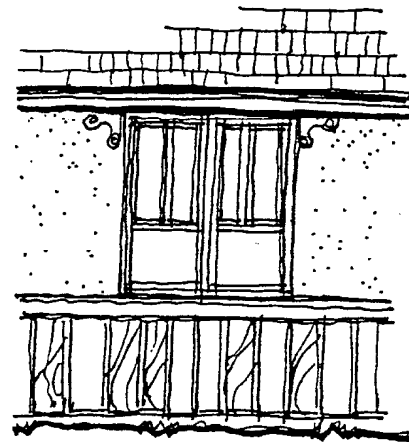


# Architectural Guidelines

# Requirements

## Exterior materials and finishes

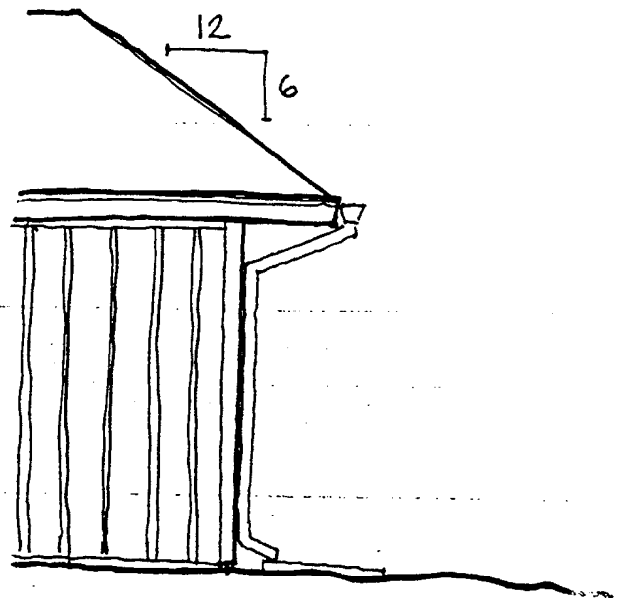
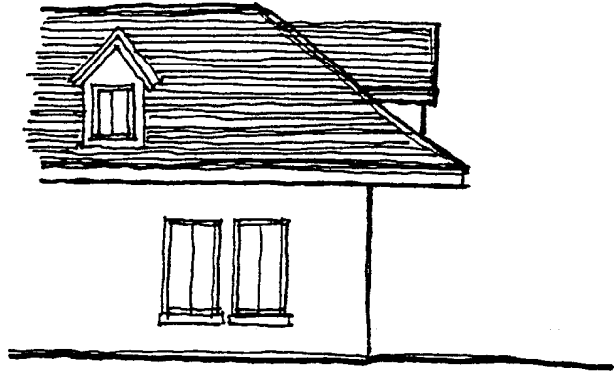
- sophisticated details
- bold materials integrated together
- interfaces between materials that harmonize with the environment and coordinate well
- materials
  - natural stone
  - natural wood
  - stucco
  - brick - as reviewed and approved by committee
- exposed concrete block is not allowed
- sample lay-ups 4'x4' are required for unique materials
- small materials in large areas are encouraged over large slabs
- special detailing
  - quoins
  - soldier coursing
  - patterning
  - articulated heads and sills at openings
- wood siding
  - wood details articulated
  - lap siding is discouraged
- stucco
  - textures
  - color choices
  - detailing
- other materials
  - reviewed and approved by design review committee



# Architectural Guidelines Requirements

## Roofs

- sloped roofs are acceptable
  - hip
  - gable ends
- no flat roofs allowed
  - mansard
  - parapet styles
- dormers encouraged
- 6:12 slope as minimum
- eave detailing encouraged including:
  - troughs
  - drains
  - wood fascia
  - wood soffits
  - lighting as desired
- materials accepted
  - wood shakes
  - clay tile
  - slate
  - colored concrete tile
- materials unacceptable
  - asphalt shingles
  - unfinished
  - standing seam
- accessories controlled
  - stacks at central location
  - fireplace chimney must be masonry if on an exterior wall
  - skylights to be flat glazed units
- building height must be achieved as the top of the highest element of the roof

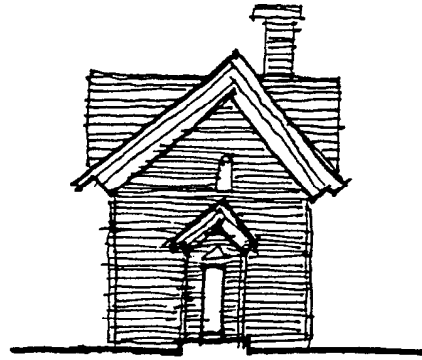


# Architectural Guidelines

# Requirements

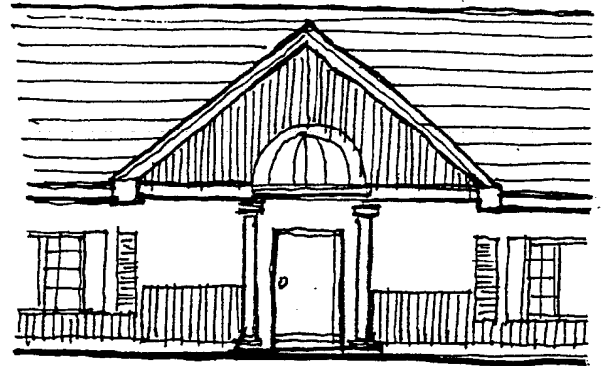
## Entries

- front door requires an articulated sense of entry:
  - from the street
  - from the driveway
- attractive qualities to design through the use of:
  - glass
  - lighting - recessed fixtures where attached to house
  - elegance



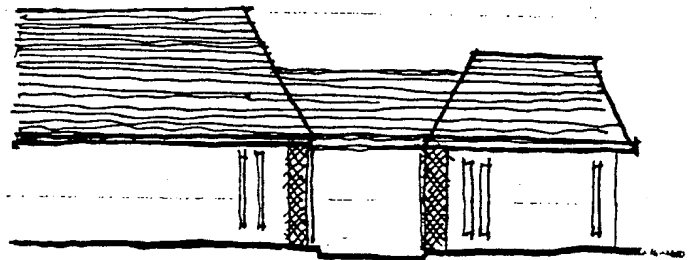
## Garages

- integrated into house design - no freestanding garages allowed
- not related directly to or facing the street
- screening from the road of on site automobiles is encouraged
- use of courtyards for access to garage is looked on favorably
- multiple openings rather than single large doors
- no flood lights allowed
- recessed light fixtures where attached to the house



## Porches and Decks

- integral parts of the overall form of the building
- piers and railings designed to blend into the design.
- walk out sites
- exterior living spaces





# Architectural Guidelines Requirements

## Security

- smoke detectors prewired into monitor system
- linked into police and fire departments.

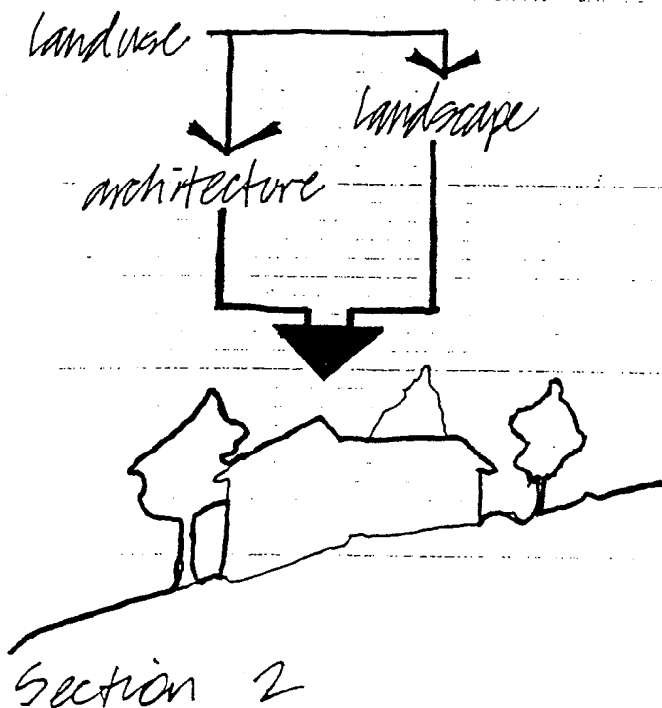
## Prohibited in this community:

- oil changing of vehicles and equipment without proper receptacles and removal procedures
- concrete equipment cleaning or concrete dumping without proper cleanup and restoration
- removing any rocks, trees, plants or top soil from any portion of the property, other than the owner's lot
- careless treatment of trees or preservation area
- use of spring, surface or irrigation water for any purpose
- signs other than approved construction or real estate signs
- careless use of cigarettes, fireworks, or any flammable item
- discharge and use of firearms

# Land Use Guidelines

# Introduction - Intent

Wild View is a model community for planning and design integrity of structure and landscape. From the beginning of the project, the developer and his representatives have focused on harmony and creativity, and on sustaining a bold sensitive image relating to the natural topography. These design guidelines, which pertain to all levels of architectural form and landscape development, represent an integrated sense of information for owners and builders at each stage of property development.



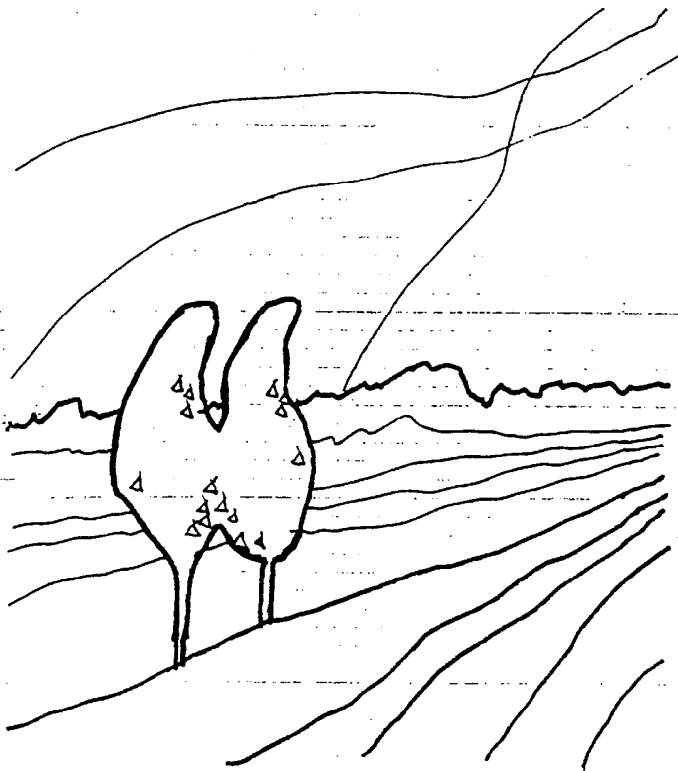
These Land Use Guidelines are not intended to hinder, in any way, unique designs or creative expression by the design professional or the owner. By establishing caps on elements or requirements for site planning, these guidelines will ensure an overall cohesiveness to the development. It is required that persons proposing construction at Wild View seek assistance from design professionals including, but not limited to, architects, landscape architects, soils engineers and civil engineers. Their background and experience will ensure creative conformance to design standards and contribute to the review process, as well as comfort in the design of the future residence.

# Land Use Guidelines

# Requirements

## Site Planning

- sensitive utilization of existing site features
  - existing terrain
  - drainage patterns
  - views
  - solar exposure
  - neighborhood views and screening
- respect for adjacent buildings
  - massing
  - materials
  - access for neighbors.



## Siting of Building

- climatic exposures of site
  - wind
  - sun
- visual character of site
  - existing slopes
  - vegetation
  - orientation
- connections
  - driveways
  - sidewalks
  - entrance location
  - garage door location
- grading
  - retaining as much of the character of the site as possible
- privacy
  - for lot owner
  - for adjacent lot
  - sight lines coordinated with adjacent properties

# Land Use Guidelines

# Requirements for Review

## Setbacks

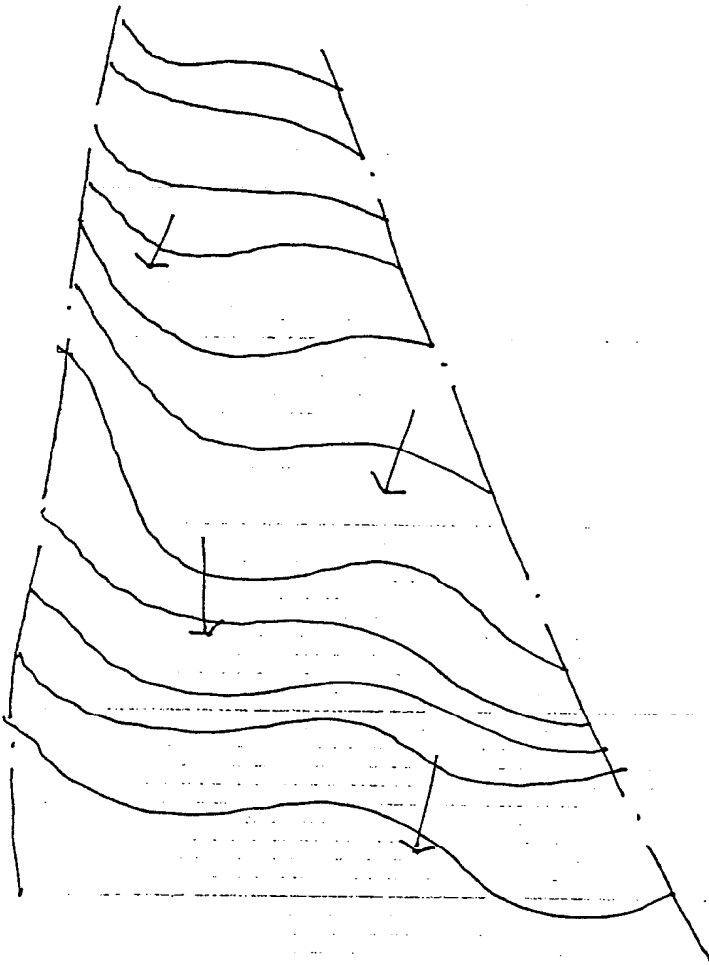
- zoning and planning guidelines for the Boulder County zoning resolution and land use regulations will be maintained. Specific setbacks will be outlined in exhibit 'A'

## Building Coverage

- reference site qualities of Land Use Guidelines - this section for specific site locations

## Grading and Drainage

- owner is required to have a soils test done of property prior to final stage of submittals
- minimum extent of grading
- stepping of buildings rather than cut and fill; exposed concrete not allowed
- finished grade to be agreed upon between owner and design review committee
- positive drainage away from building required per soils recommendations at foundation
- all drainage walls to have a minimum grade of 2.5%
- historic flows on or across the lot must be accommodated
- control of erosion is mandatory
  - temporary to control damage situation with silt fencing, hay bales and drainage structures
  - revegetation required by next planting season



# Land Use Guidelines

# Site Elements

## Culvert

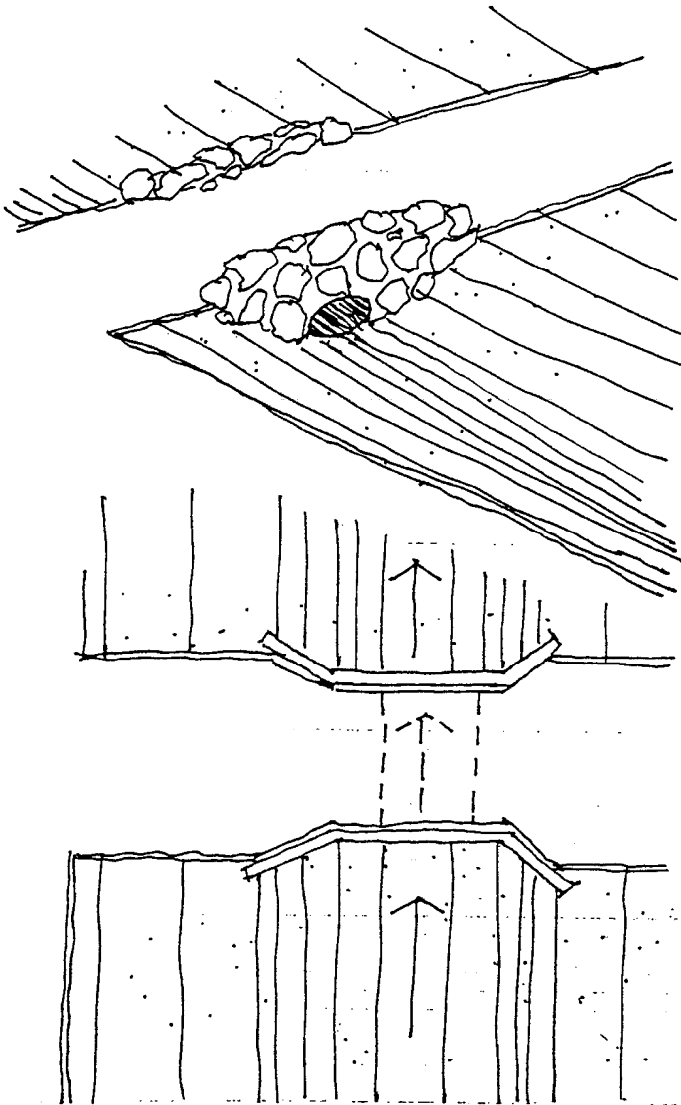
- one per house
- drainage ditch along side each property at roadway
- culvert to be installed under asphalt driveway to location specifications
- not to exceed 20' in width
- to be concrete or steel with flared ends with rock wing wall adjacent to banks of native and natural stone

## Utilities

- All utilities to site to be buried; no poles or lines allowed
- easements to be at sides or at rear of adjacent sites as required

## Easement Rights

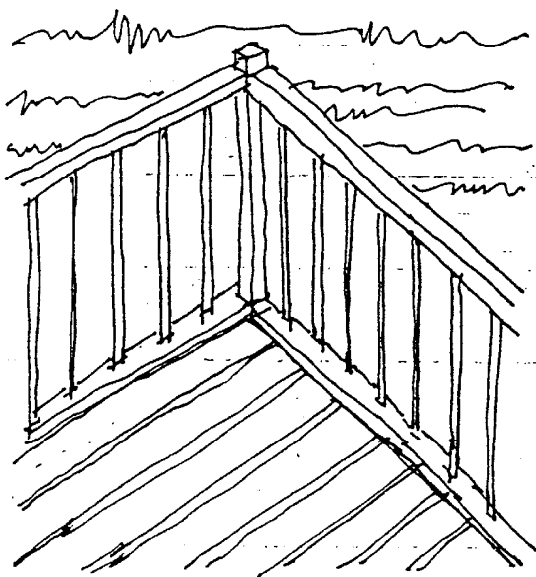
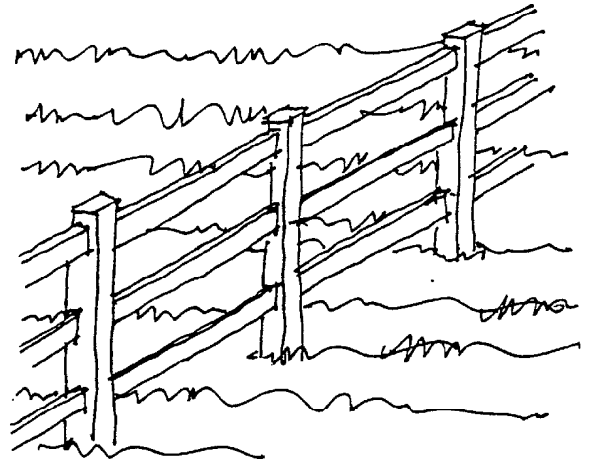
- no building to be allowed within areas designated as easements
- all county rules and regulations will apply



# Land Use Guidelines

# Site Elements

Fencing will be discouraged within wild view. If fences are used, natural planting must be incorporated to mask the fence fully, and its location on the site should be selected to be as unnoticeable as possible from the roadway and surrounding properties. Fences utilized as site screens around yards must be integral to the overall design of the building. All fencing must be reviewed and approved by the design review committee prior to erection.



- Fencing at property line
  - three-rail wood fences at perimeter of property
  - limited to beyond 75' front yard setback

Fencing within Area 'A'  
see exhibit 'A'

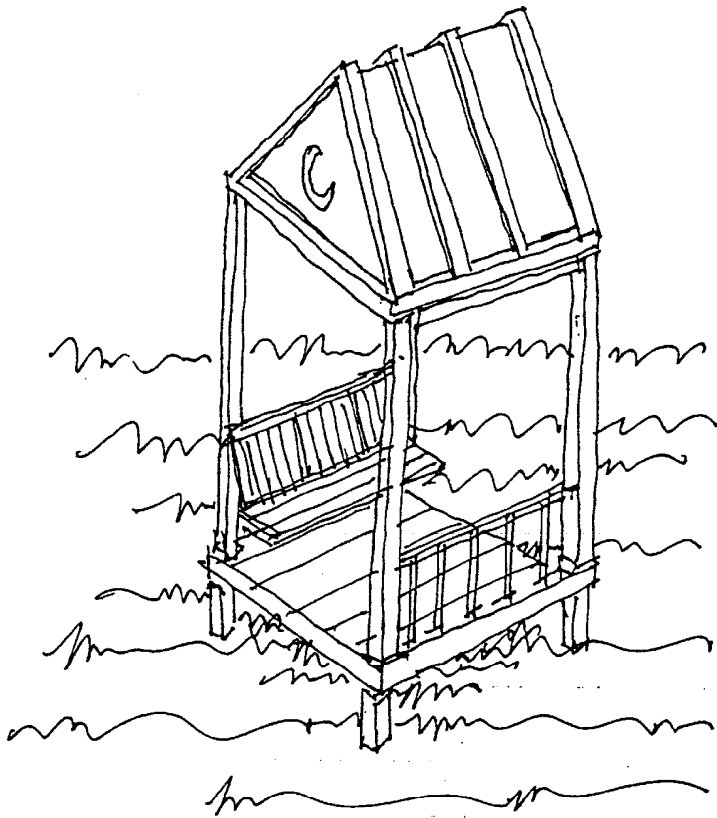
- wood fence with wire mesh
- behind 75' front yard setbacks

Fencing for privacy

- at deck line
- to 6' heights
- limit materials to wood:
  - cedar
  - redwood

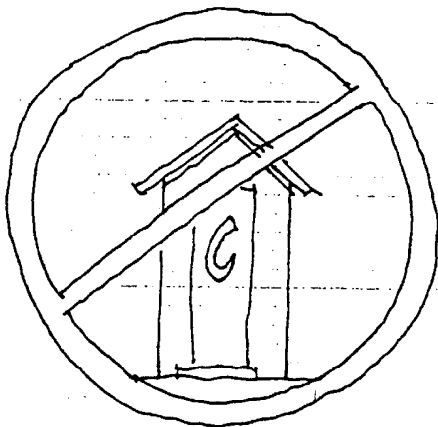
# Land Use Guidelines

# Site Elements



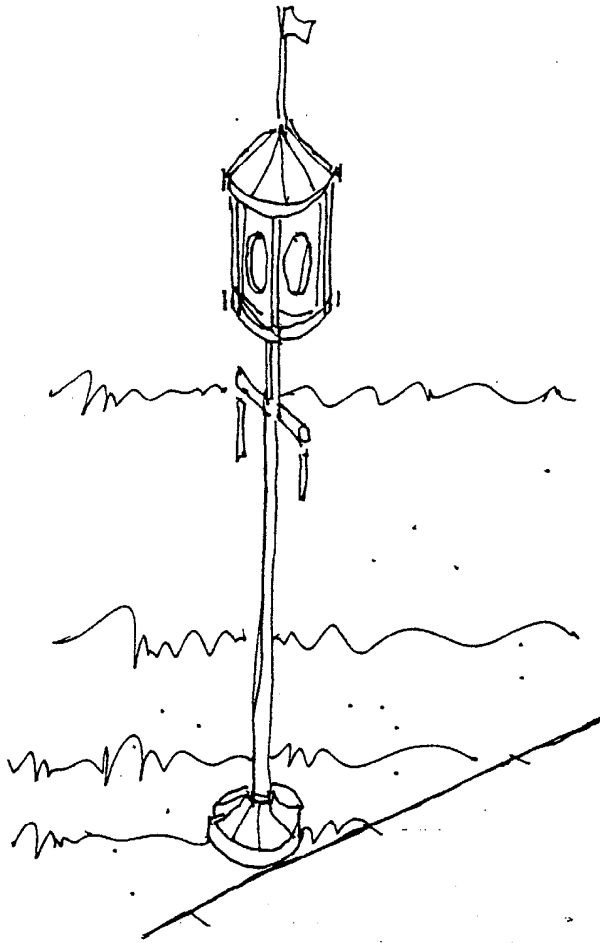
## Accessory Buildings

- gazebo for shaded seating strategically placed on site
- as an element to the design of the site planning of the property
- storage sheds are not allowed unless attached and integrated with the overall design of the house
- all storage elements on the site must be enclosed in shed or garage
- out houses expressly forbidden



# Land Use Guidelines

# Site Elements

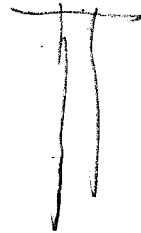
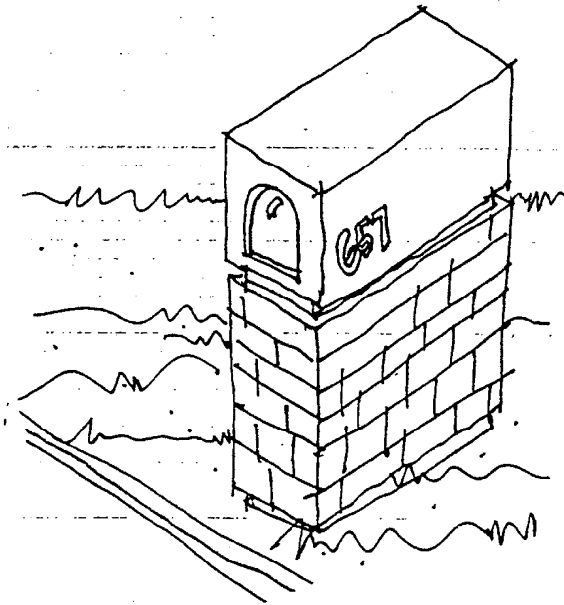


## Lighting

- site lighting allowed - ornamental accent only, confined to building envelope
- driveway lighting as an accent to the drive
- pole lighting to coordinate the sidewalks up to the house - ornamental;
  - 6' height maximum
  - 4' height minimum
- no exposed exterior light sources will be allowed
- accent lighting on house is allowed
- flood lights on lawn and driveway not allowed
- neon lighting not allowed

## Mail boxes

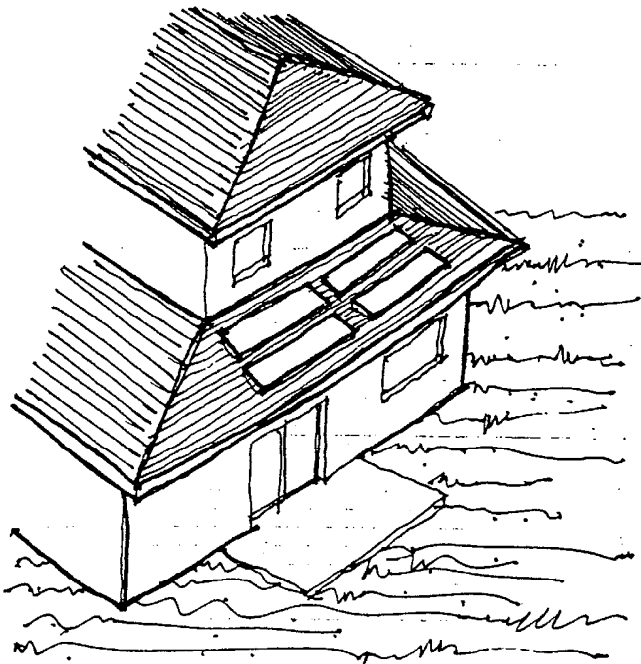
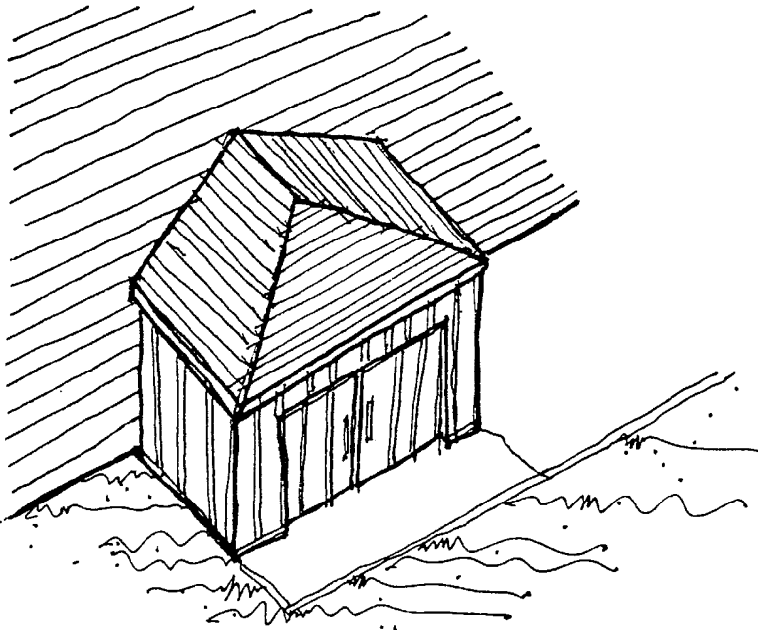
- at street only for rural service
- in keeping with the design of the building
- must meet U.S. Postal service requirements
- simple mail box (metal) on post not allowed





# Land Use Guidelines

# Site Elements



## Trash receptacles

- as supplied by garbage companies
- to be hidden from street
  - garage
  - garbage enclosure
- all house hold garbage to be contained
- all organic site refuse to be bagged
- secure from wildlife

## Solar panels

- not allowed within view from front property line
- integrated into roof design and flush with roof plane

## Satellite dishes

- not allowed

## Storage tanks

- no storage tanks of any size or type allowed

## Campers / Trailers / Boats

- storage of any and all recreational vehicles or boats on or off trailers is restricted to a completely enclosed garage

## Old cars

- limited to garage enclosed only

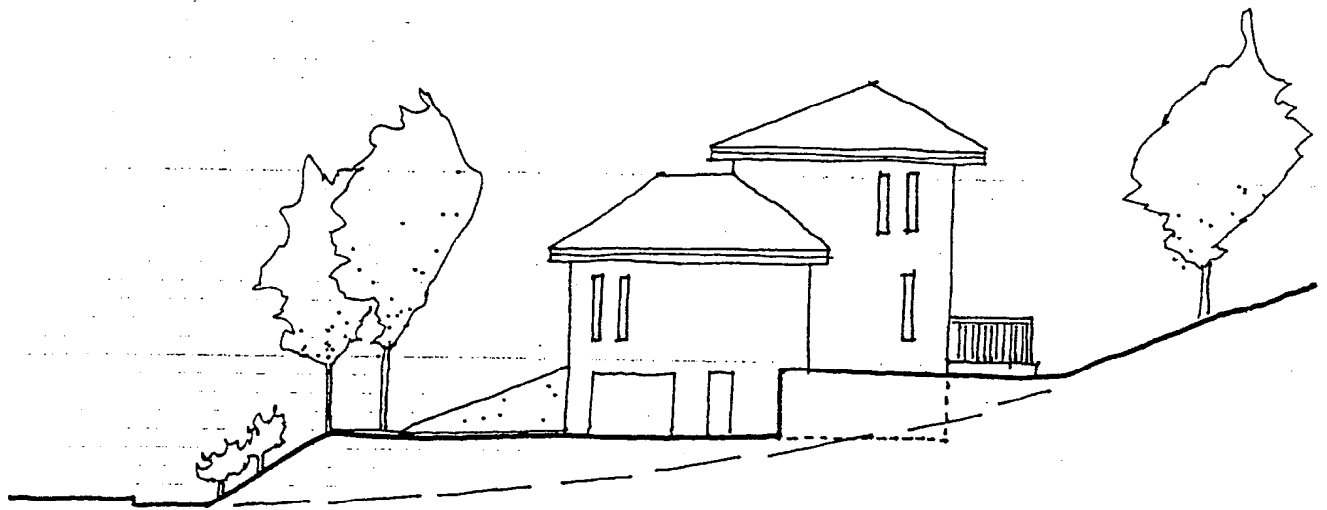
# Land Use Guidelines

# Site Qualities

## The Perimeter site

lot numbers: 7, 8, 9, 10  
18, 19, 20, 21, 22, 23, 24, 25,  
47, 48

- maximum height two (2) stories
- 80% of building to set within area 'A' - see exhibit 'A'
- walkout to side or back garden level if the grade allows
- minimum natural landscape coverage to be 65%
- resolution document referenced



roadway      drive/access      building/walkout      deck

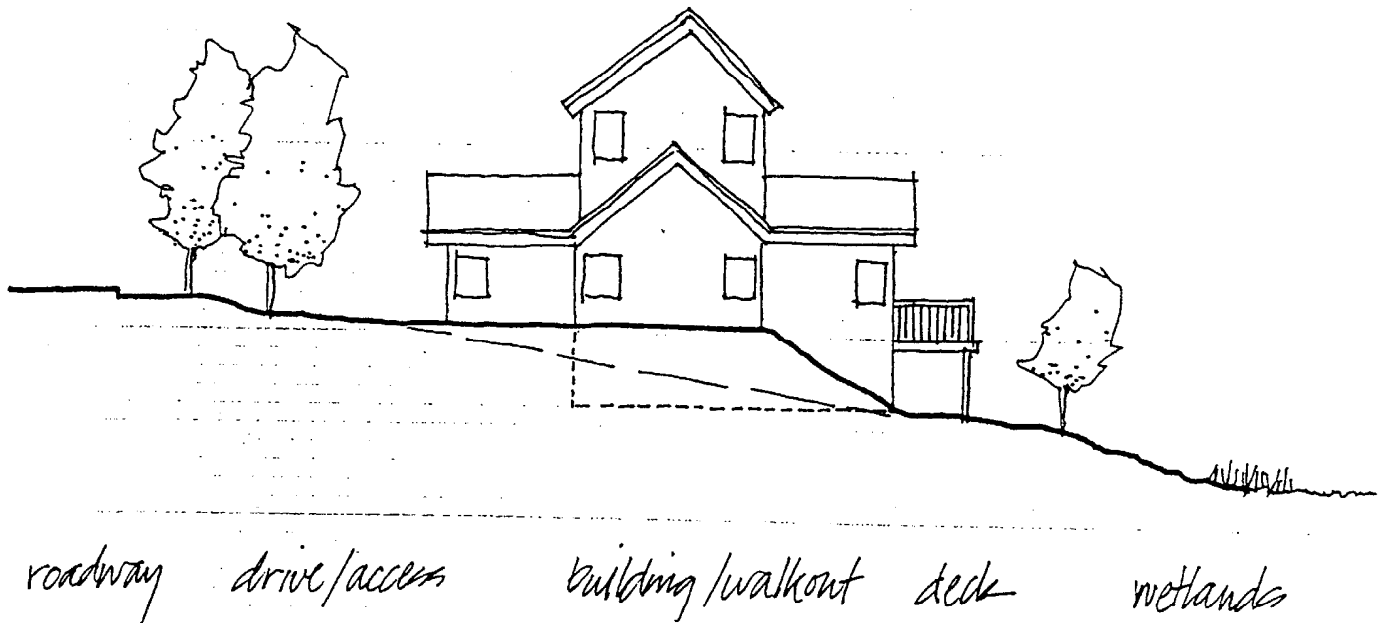
# Land Use Guidelines

# Site Qualities

## The Wetlands Site

lot numbers: 1, 2, 3,  
4, 5, 6, 26, 27, 28

- maximum height two (2) stories
- 90% of building to set within Area 'A' - see exhibit 'A'
- walkout to garden level if the grade allows
- wetlands to be unencumbered
- allow for maximum natural coverage of site
- minimum natural landscape coverage to be 70%
- resolution document referenced



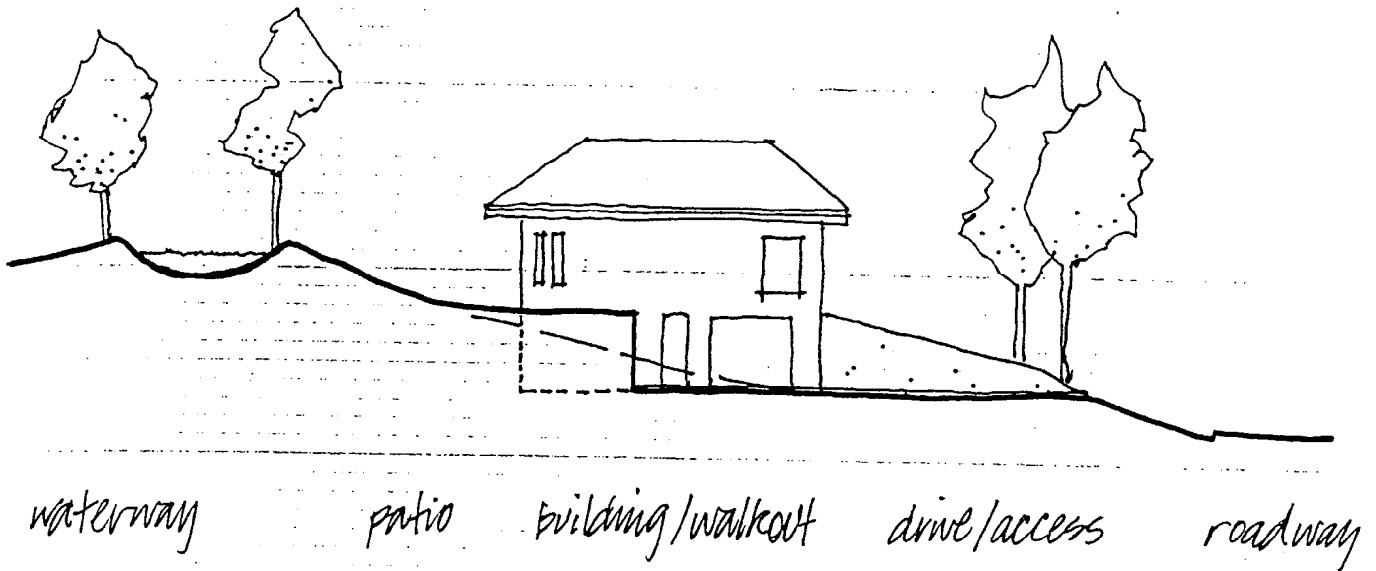
# Land Use Guidelines

# Site Qualities

## The Waterway Site

Lot numbers: 11, 12, 13, 14,  
29, 30, 31, 32, 33, 34, 35, 36  
37, 38, 39, 40, 41, 45, 46

- maximum height two (2) stories
- 80% of building to set within Area 'A' - see Appendix 'A'
- walkout to side or back garden level if the grade allows
- porches and decks to not impede on the waterway in any manner
- minimum natural landscape coverage to be 65%
- resolution document referenced



# Land Use Guidelines

# Site Qualities

## The Lake Site

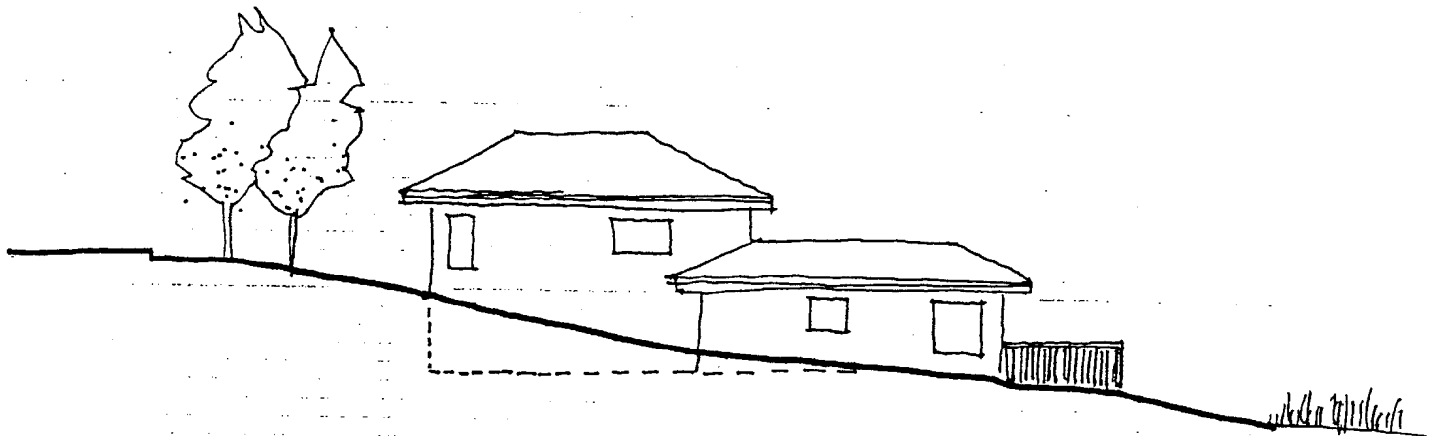
Lot numbers: 42, 43, 44,  
45, 46, 15, 16, 17

maximum height two (2) stories  
20% of building to set within  
area 'A' - see appendix 'A'  
walkout to garden level if the  
grade allows

maintain fixed setbacks  
from lake - no variances  
allowed.

minimum natural landscape  
coverage to be 60%

resolution document referenced



roadway

drive/access

building

deck

lake

# Landscape Guidelines

## Introduction - Intent

Preservation of existing native landscaping, trees and shrubs as well as ground covers is paramount and all plans for improvements must be respectful of existing landscape and vegetation.

To enhance the existing natural landscapes, additional vegetation should complement and be compatible with the existing environmental conditions associated with the Wild View site.

Landscape plans should be designed to ensure that the ecosystem not be altered and that undue quantities of water not be used in irrigation. Any landscaping such as lawns, which requires substantial irrigation or use of water shall be vastly limited and strongly discouraged.

Homeowners are encouraged to:

- minimize disruption of the natural terrain
- revegetate and restore ground cover for erosion control
- use a drought tolerant seed mix native to the area
- use indigenous species of plant material to preserve the natural appearance
- preserve existing and natural drainageways

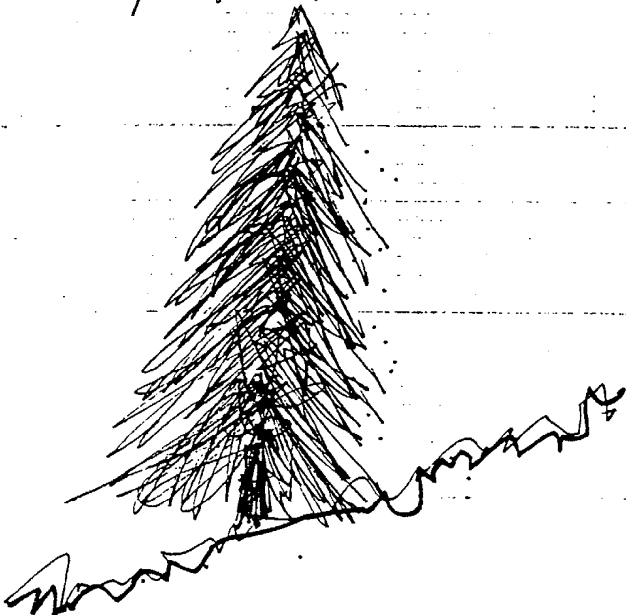
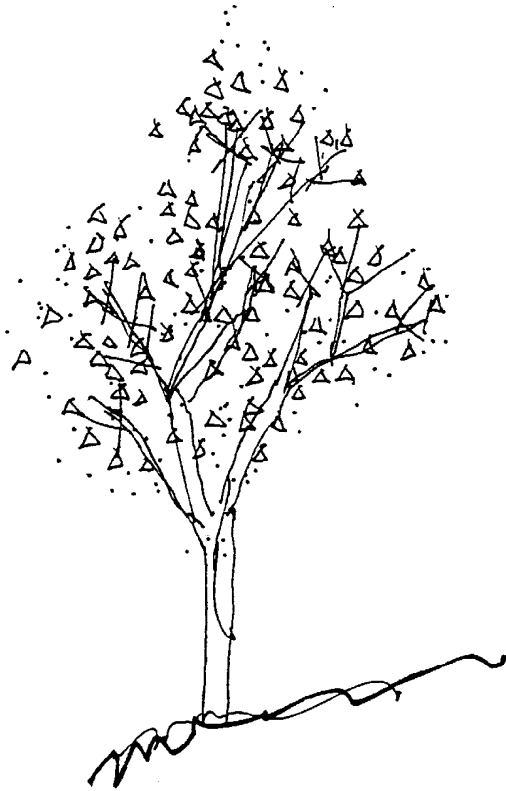
A list of compatible species is included in this guide as appendix 'B'. All added materials shall be planted in formal groupings

# Landscaping Guidelines

# Definitions

## Softscape Elements and materials

- deciduous and evergreen trees, herbs and ground covers
- vines, lawns, flowers, perennial grasses and wild flowers
- in quality and quantity and size proportional to the mass and scale of the building at time of planting
- chosen for form, color, environmental appropriateness, and seasonal variety.
- must conform to standards standards:
  - american association of nurserymen
  - colorado state standards
- installed per industry specifications



## Deciduous Trees minimums

- canopy, shade trees, and ornamental trees
  - B and B
  - 2" caliper minimum or larger as visually more
- all coniferous trees
  - B and B
  - 5' height or larger as visually more desirable

# Landscape Guidelines

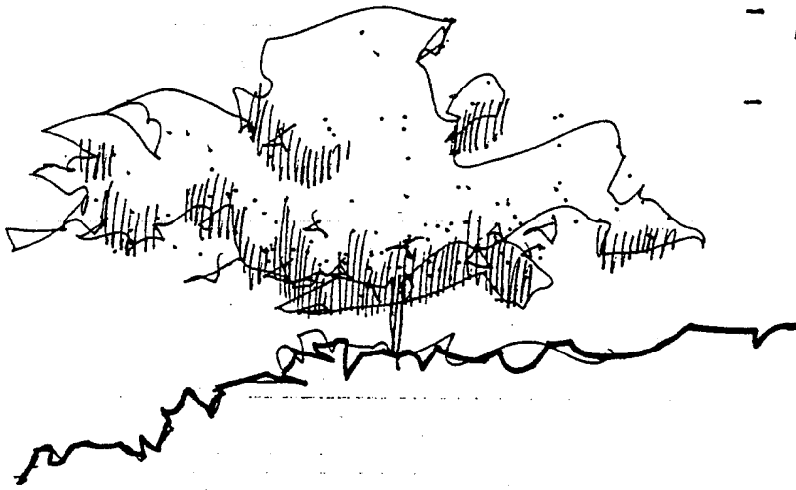
# Definitions

## Ornamental and Multi-Stem trees - minimums

- B and B
- 10' height or larger as visually more desirable

## Shrub height minimums

- specimen planting
  - 5' height
- hedges and screening
  - 5 gallon container
- other shrubs
  - proportional to proposed use and surrounding planting and buildings.



## Ground cover

- spacing as specified in standards of American Association of Nurserymen

## Other softscape forms

- berms
- other earth mounds
- must have max. 3:1 slope
- soil stabilized by planting ground cover or mulch to prevent runoff and erosion





# Landscape Guidelines

# Definitions

## Hardscape Elements

- paving
- deck surfaces
- terraces
- steel edging
- ornamental or stepping stones
- site lighting
- sculpture

## Requirements

- all must be compatible and harmonious with the architectural design of the building and surrounding neighborhood
- all soil must be reseeded by the start of the next planting season
- no part of site is to be left barren
  - no unprotected soil allowed
- all driveways must be asphalt

## Mulches in 'manicured' areas

- wood base mulching in beds to prevent weeds and water runoff
- stone or gravel mulching is discouraged

# Landscape Guidelines

# Site Elements

## Waterway site plantings

- at 30' maximum from the waterway, all existing trees and shrubs may not be disturbed
- all planting adjacent to this easement to be from waterway list in appendix B and existing plant vocabulary.

## Lake site plantings

- reference boulder County resolution 93-41 for details

## Wild life Movement Corridor plantings

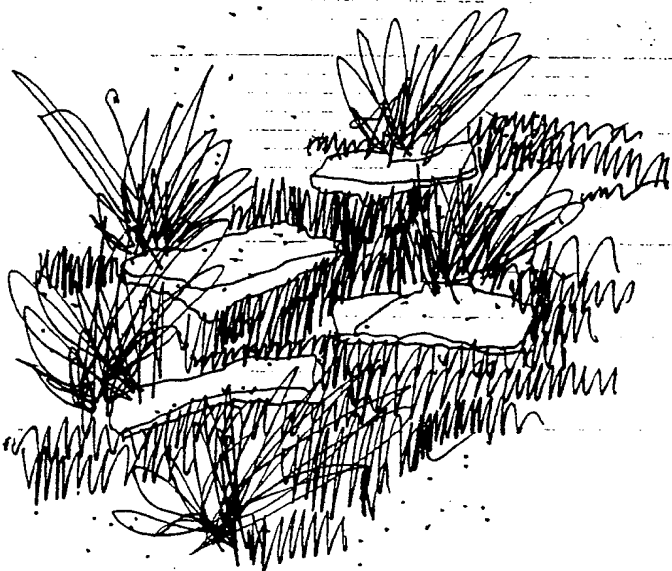
- reference boulder County management study for details

## Manicured Plantings and Gardens

- Approximately 20% of site devoted to manicured plantings (non-native and non-naturalized plants within Area 'C' - see appendix 'A' for details)

- ornamental planting
- shade trees
- coniferous trees
- foundation planting
- annual and perennial beds
- screening and hedges
- vegetable & herb gardens
- grass sodding or seeding or ground covers
- all must be chosen from plant list in Appendix 'B' except vegetables, herbs, annuals and perennials
- no specific number required but must 'tie' building to ground

design and plans must be completed by a landscape architect or design professional for design review committee.



# Landscape Guidelines

# Site Elements

## Views and Screening

- differing views per each site to:
  - lake
  - wetlands
  - prairies
  - mountain range
- selection of materials to accent views is critical from each building
  - control should be taken to not mask own views and views of neighbors
- views of service entries to properties, privacy screens and less desirable areas must be taken into account in design
  - appropriate design measures must be taken

## Culverts

- road drainage by swales at edge of roadway only
- driveways must have an adequate culvert to allow swale drainage

# landscape guidelines

# Site Elements

## Maintenance requirements

- watering
- weeding
- pruning
- wound dressing
- fertilizing
- disease and insect control
- protective spraying
- replacement of dead material
- straightening newly planted trees
- any procedure consistent with good horticultural practice
- assure healthy, vigorous growth of all material planted

## Insect & weed control requirements

- all weed and insect control which impacts drainage and soil quality must include:
  - appropriate safety flags and notices be well labeled at the time of application
  - No herbicides or pesticides shall be used in naturalized or mature parts of landscape unless approved prior to application by Design review committee

# Landscape Guidelines

# Site Elements

## Irrigation

- owners are requested to review how to xeriscape by the Denver Water Department and consider this form of planting. Consultation with a landscape architect or design professional will be of great assistance in this matter:
  - requires minimal water needs
  - indigenous plants to context
  - use of digital drip irrigation
  - low water consumption irrigation heads
  - micro-jet spray heads
  - all systems must be designed and installed per applicable codes

## Drainage

- to adequately allow for drainage away from building
- allow natural flow to continue across site
  - french drains
  - stone & gravel
  - as approved by design review

# Design Review Process

# Introduction - Intent

The design review committee has been established to maintain and uphold these design standards. The approval process was adopted in order to maintain maximum aesthetic benefits for the pleasure of the community.

All construction, whether new or renovations, or site work is required to adhere to these design standards. After the final review and approval is given for the specific work applied for, then, the appropriate building permit must be obtained.

# Design Review Process

Prior to the design review process, all applicants should thoroughly review all of the following documents applicable to their construction project at Wild View:

- declarations and covenants conditions and restrictions
- final plat
- design standards
- purchase documents
- master builder agreement

## Pre-design meeting

- two weeks prior to preliminary submission to design review committee
- with a committee member
- at the site, informal
- to discuss:
  - excavation
  - snow fencing
  - drainage
  - appropriate disposal of fill
  - site plan showing:
    - site access
    - storage areas for topsoil & fill dirt
    - storage of building materials
    - hoarding
    - dumpster
    - temporary toilet
    - erosion control
    - interm drainage
- A document will be put on file following the meeting.

# Procedure

## Preliminary Submission requirements:

- preliminary plans and elevations to be 1/8" = 1'-0" with 1" = 10' site drawings
- lot, present address and phone of owner
- professional survey showing:
  - topo @ 2' contours
  - utilities
  - streets
  - drainage ways
  - natural features
  - all legal restrictions
  - adjacent site restrictions
- preliminary site plan
  - proposed improvements
  - building location
  - parking
  - driveways
  - grading proposed at 2' intervals
  - spot elevations
  - top of main floor elevations
  - patios, decks
  - gazebos
  - water features
- floor plans
  - main structure and any accessory buildings
  - square footages of all floors shown

# Design Review Process

## Preliminary Submission (cont'd)

- elevations
  - proposed grade lines
  - finish floor elevations
  - top of slab elevations
  - building height calculations
  - scale @  $\frac{1}{4}'' = 1'-0''$
  - indications of colors and materials if chosen
- other proposed improvements
  - decks, awnings
  - gazebos, green houses
- optional to provide
  - perspective sketch
  - model of proposal
- staking of property
  - $\pm$  two foot layout of building
  - 3' high stakes showing lot corners, easements, and building
  - two sets of plans submitted
  - fourteen day turn around on project review by design review committee
  - upon approval, owner may submit final plans
  - upon denial, owner may submit revised or new preliminary plans with modifications

# Procedure

## Final Submission requirements

- final plans on 24" x 30" sheets
- lot, phone number and present address of owner
- updated professional survey
- final site plan
  - fencing
  - finish floor elevations
  - top of slab elevations
  - site improvements
  - utilities
  - grading @ 2' intervals
  - paved areas
  - mailbox location
  - easements / setbacks
  - trash location
  - erosion controls
  - scale at  $1'' = 10'$
- roof and floor plans
  - detailed
  - scale at  $\frac{1}{4}'' = 1'-0''$
- exterior elevations
  - proposed grade lines
  - foundation elevations
  - finish floor elevations
  - maximum roof height
  - decks, rails, site improvements
  - evaporators, A/C units, fireplaces and fires
  - scale at  $\frac{1}{4}'' = 1'-0''$
- wall sections
  - exterior details
  - construction system used
- color board
- landscape plans
  - reference landscape guidelines section 2



# Design Review Process

## Final Submission (Cont'd)

- adjustments to staking on site
- two sets of plans submitted
- fourteen calendar days turn around on project review by design review committee
- with approval, owner is to submit to building department for appropriate permits
- if denied, owner may resubmit final plans with changes

## Review fees

- approved builder program
  - no fee unless resubmission required
  - \$250 resubmission charge for each

## Construction Period Reviews

- committee responsibilities
  - to observe work in progress for non-compliance of these guidelines
- construction must:
  - start within 90 days of the design review committee final approval
  - be completed within 12 months from commencement of construction

# Construction

## Field Changes

- design review committee notification and approval is required for:
  - all exterior elevation changes
  - must occur prior to work being done

## Not allowed on construction site

- blasting
- dust, noise, and odor
- use of adjacent property without prior agreement

## Certificate of Accuracy

- provided by builders surveyor
- building foundation and slab elevation approved by final submission
- based on USGS
- issued prior to beginning of framing

## Project Completion

- review by committee after written notice sent by owner
- owner to remedy non-compliance issues, if any.

# Design Review Process

## Final Submission (cont'd)

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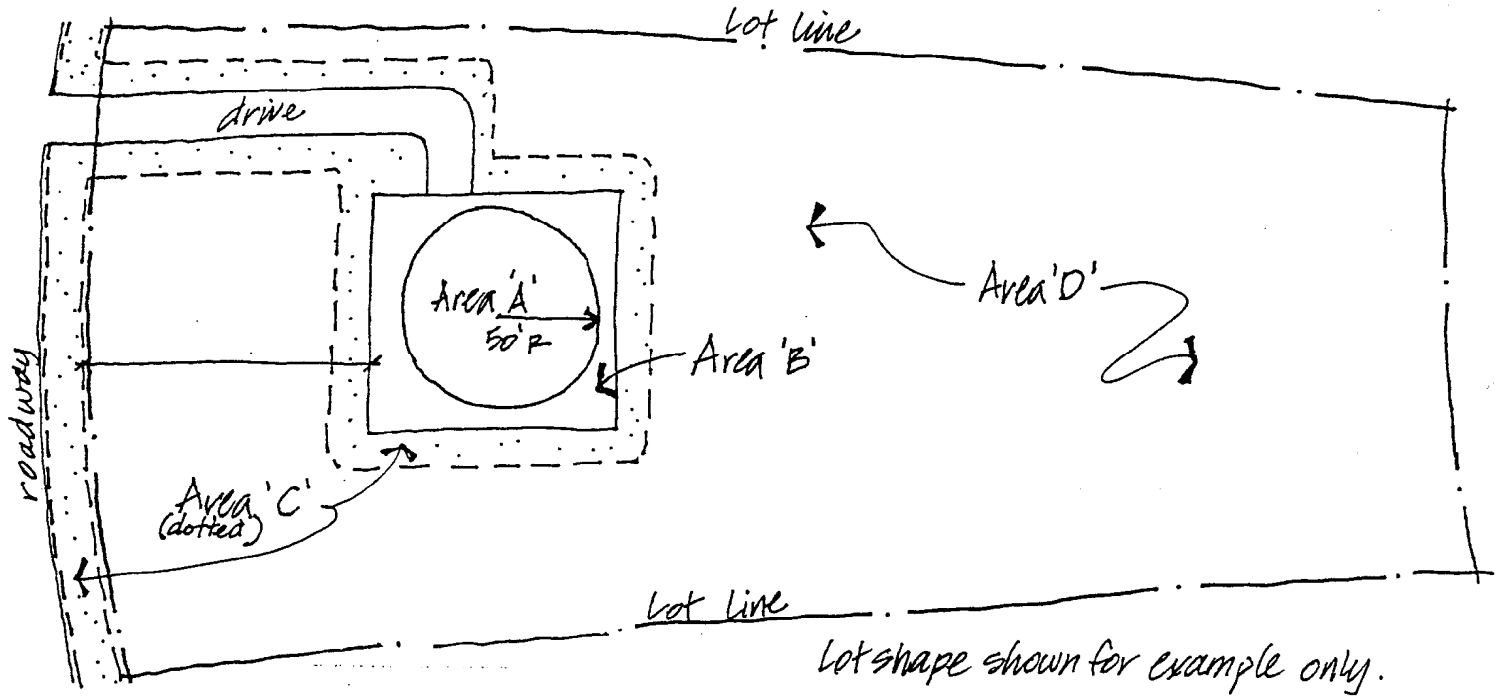
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# Wild View at Little Canyon Lake Reserve

## Exhibit 'A' site planning guidelines



lot shape shown for example only.

### Area A:

- prescribed building envelope

### Area B:

- site setbacks per Boulder county zoning resolution and land use guidelines or site specific guidelines, whichever is more stringent

### Area C:

- percentage of lot that may include manicured non-native or naturalized landscape. see section on manicured plantings and gardens. section 3

### Area D:

- naturalized landscape of site. introduced plants should be chosen from appropriate plant list and approved by design review committee. see section 2 land use guidelines for details.

# Wild View at Little Canyon Lake Reserve

# Exhibit 'B' plant list

| Trees - Evergreen<br>(conifer)                                | Notes             |
|---|-------------------|
| - pinus cembroides edulis<br>pinon pine                       | - upland sites    |
| - pinus ponderosa<br>ponderosa pine                           | - upland sites    |
| - pinus aristata<br>bristlecone pine                          | - upland sites    |
| pinus flexilis<br>lumber pine                                 |                   |
| - pinus nigra<br>australian pine                              | - upland sites    |
| pinus sylvestra<br>scotch pine                                |                   |
| pseudotsuga menziesii<br>douglas fir                          |                   |
| - picea pungens<br>colorado spruce                            | - moist locations |
| - abies concolor<br>concolor fir                              | - moist locations |
| - picea pungens glauca<br>colorado blue spruce                | - moist locations |
| - juniperus monosperma<br>one-seed juniper                    | - upland sites    |
| - juniperus scopulorum<br>rock mountain juniper               | - upland sites    |
| - juniperus scopulorum "corogreen"<br>"corogreen" juniper     | - upland sites    |
| juniperus scopulorum "grey gleam"<br>"grey gleam" juniper     |                   |
| juniperus scopulorum "wichita blue"<br>"wichita blue" juniper |                   |
| <b>Trees - Deciduous</b>                                      |                   |
| acer ginnala spp<br>ginnala or Amur maple                     |                   |
| acer x freemannii<br>autumn blaze maple                       |                   |

Wild View at Little Cayner Lake  
Reserve

Exhibit 'B'  
plant list

Trees - Deciduous (continued)

Notes

- acer glabrum  
rocky mountain maple
- acer saccharum "green mountain"  
green mountain silver maple
- acer rubrum "northwood"  
northwood maple
- betula nigra  
eastern river birch
- betula fontinalis  
nature river birch
- prunus padus  
may day tree
- crataegus spp.  
hawthorne
- prunus virginiana  
canada red cherry
- fraxinus pennsylvanica spp.  
green ash species
- populus tremuloides  
quaking aspen
- malus spp.  
crab apple
- cercis canadensis  
red bud
- amelanchier canadensis  
shadbowl serviceberry
- quercus bicolor  
swamp white oak
- Shrubs - Evergreen
- juniperus spp.  
junipers all species
- picea abies pumila  
dwarf norway spruce
- pinus spp.  
pines all species
- moist locations
- moist locations
- note: some require moist locations
- moist to wet locations
- well drained sites
- northern or eastern exposure
- tolerant of poorly drained soil
- various sun and soil requirements
- moist locations
- upland or slope condition well drained soil

Wild View at Little Canyon Lake  
Reserve

Exhibit 'B'  
plant list

Shrubs - Deciduous

Notes

- amelanchier alnifolia  
saskatoon serviceberry
- prunus cistena  
purpleleaf sand cherry
- rosa rugosa  
rugosa rose
- viburnum spp.  
viburnums
- forsythia spp.  
forsythia
- euonymus spp.  
euonymus
- cercocarpus montalis  
mountain mahogany
- cotoneaster spp  
cotoneaster
- cornus stoloniferous  
redtwig dogwood
- rosa woodsii  
native pink rose
- symphoricarpus orbiculatus  
red coralberry
- potentilla spp.  
cinquefoil
- ribes spp.  
currant
- rhus glabra  
smooth sumac
- rhus glabra cis montana  
rocky mountain sumac
- lonicera spp.  
honeysuckle
- philadelphus spp  
mock orange
- chaenomeles spp.  
quince
- spiraea  
spirea

-dry soil

-moist locations

-filtered shade

-sloped upland conditions

-sloped upland conditions

(note: other groundcovers and  
perennials as specified on  
landscape plan may be  
submitted for review and  
approval by design review)